

ADDENDUM NO. 2

Project: Miracle of Hickory Park - Modification
City of Hickory, North Carolina

Date: September 21, 2026

Issued By: Alfred Benesch & Company
2359 Perimeter Pointe Parkway, Suite 350
Charlotte, NC 28208

This addendum shall become an integral part of the Contract Documents for the above-mentioned project and shall be placed in the front of the Specifications for this project. The following items are intended to revise and clarify the Drawings and Specifications and shall be included by the bidder in their proposal.

Each Contractor shall be responsible for notifying his/her sub-bidders of the contents of this addendum.

CLARIFICATIONS

1. Based on a site meeting held on 9/18/26 between City of Hickory Engineering and City of Hickory Utilities we are going to need to run a new 1 ½" water service line from the watermain on 12th St. Dr. NE to the new restroom building. Preferably with the alignment staying primarily in the grass strip between the Music Factory parking lot and the Army Reserve parking lot. This will require a new water tap and meter. See revised sheet C400. The backflow preventor and pressure reducing valve are shown on the revised plumbing sheet P1.
2. The line items for the restroom building have been split into two items on the bid form.
3. A series of questions have been received and are responded to below:

Miracle of Hickory Park – RFIs

1. CXT is stating a potential lead time of 180 days, and they need the GC to hold off on the surrounding site concrete/asphalt finishes to ensure no damage is caused during installation. This puts us right at the end of our 210 day schedule. Is there any consideration for extending the project duration due to long lead time and the logistics of getting the restroom facility installed? *R. The schedule will be extended to 240 calendar days.*
2. Will we be required to install a backflow preventer in the building? If so, please specify explicitly on the plumbing sheets. CXT buildings no longer come with backflow preventers like they have in the past. *R. A backflow preventor has been added to the storage room. See revised plumbing sheet.*
3. Is there any consideration to removing the unit prices found on the bid form for a more traditional lump sum bid. *R. The Erosion / Sedimentation Control elements have been consolidated as "Comprehensive Erosion & Sediment Control" in the Unit Prices, but the remainder of the bid will have itemized items in support of the lump sum bid. A revised Bid Forms & Supplements section has been uploaded to the bid site.*

4. Assuming this is a public bid opening, will bids be opened if the city does not receive (3) bidders? *R. No*
5. The plumbing plans reference CXT drawings in several locations for specific piping requirements. These CXT drawings were not included in the bid package. To ensure all GCs and subcontractors are bidding the same scope and providing an apples-to-apples comparison, please provide the applicable CXT drawings that correspond with the basis of design. *R. All relevant CXT drawings can be found on their webpage under "Resources and Specifications" (<https://lbfooster.com/infrastructure/precast-concrete-buildings/restroom-buildings/cortez>). The Contractor will be required to obtain the final CXT shop drawings for permitting and ordering as part of their scope.*
6. There are no foundation details provided for the CXT building. It is understood that the CXT building is furnished as a complete building package; however, the bidding GCs need sufficient information to accurately account for the required foundation, including any excavation, stone, concrete, reinforcing, or other related work. Without the applicable foundation requirements, GCs may make different assumptions regarding this scope, which could result in inconsistent or incomplete bids. Please provide the applicable CXT drawings and foundation details that correspond with the basis of design so all bidders can accurately price this scope. *R. All relevant CXT drawings can be found on their webpage under "Resources and Specifications" (<https://lbfooster.com/infrastructure/precast-concrete-buildings/restroom-buildings/cortez>). A 12" stone subgrade extending 2'-0" beyond the building slab edge has been reflected on the revised architectural sheets.*
7. The plans reference a CXT building but do not provide any additional information identifying the specific model or specifications. CXT manufactures several different building models, each with different requirements and configurations. Based on the building depicted on the plans, it appears the basis of design is the CXT Cortez Flush Mount building. Please confirm that the CXT Cortez Flush Mount is the intended model and basis of design for bidding purposes. *R. Yes, the Cortez Flush Mount is the intended model and basis of design for this project.*
8. Please confirm there are no retaining walls in this scope of work. *R. There are no retaining walls on this project.*
9. There are several items such as the park sign and dog pickup station that are to be re-located. Are these to be relocated by the owner or GC? If by GC please provide final relocated location. *R. These are to be relocated by the contractor. Owner will determine new locations in the field.*
10. There are several sheets including C100 that show a dark black line around the backside of the playground area. Please confirm this is showing the existing plastic wall around the playground and that there is no scope of work dealing with this plastic wall. *R. That is correct, the dark black line came from the survey.*

11. The pre bid meeting minutes state that all site furnishings are by owner. Please confirm this includes all trash cans, playground equipment, benches, picnic tables, bike racks, cornhole boards, etc. It is assumed the shade structure shown on C500 is to be furnished and installed by the GC. Please confirm this is the ONLY site furnishing by GC. *R. Yes, the shade structure (detail 7/C501) is to be provided and installed by the contractor. There are no cornhole courts on this project. All other site furnishings shall be provided and installed by the Owner.*
12. Pre bid meeting minutes state the liquidated damages on this project will be \$1,000/day however section 545057.1 - ITB page 6 lists the LDS at \$500/day. Please clarify which LD fee will be applicable. *R. LDS will be applied at \$500/day as per section 545057.1 – ITB page 6.*
13. What size does the shade structure need to be? It appears to scale out at 15' X 15' but the detail shows 10-20' it doesn't specify which. Also need the desired height. *R. The existing structure will need to be measured to get exact dimensions to order, but it has an approximate footprint of 16' x 16' and approximate height of 10'.*

Sandy Pines Park / MOHP - RFIs

1. Concerning the Miracle of Hickory and Sandy Pines projects, I looked the jobs over and suggest you add an allowance for the water/sewer taps and tap fees to level the playing fields since there are too many unknowns to price these items in the bid. Not knowing the size of the existing water line would lead to an assumption of the size of the tapping saddle and time involved and it would be better to have a contract allowance just to pull from based on actual cost once actual conditions are found on site. Also, the fee schedule for the taps could involve a fee for closing the road and just a 6" tap is shown to be \$35K on the fee schedule. It would be less expensive on the owner just to cover in an allowance or pay tap fees rather than incur a GC fee plus markup or have the water department just make the taps and run to the meter. *R. The water main along 22nd Ave. NE at Sandy Pines park is a 6-inch line. Given that the proposed 6-inch line at Sandy Pines Park is not operating as a service but as a water main extension to serve a fire hydrant, this will not be subject to a tapping fee. Also, given the 2-inch service to be tapped off of the proposed 6-inch water main is to be performed by the awarded contractor, only the 2-inch availability charge will need to be taken into consideration. The tap charge is specifically for installations performed by the City. Tap fees can be found on the posted fee schedule:
https://www.hickorync.gov/sites/default/files/hickoryncgov/Finance/Budget/FY26-27_Fee%20Schedule_ADOPTED.pdf [hickorync.gov]*
Given the large backlog of requested water taps on the City of Hickory system, the Utilities department has requested to have the GC for any city project perform this work.
2. While reviewing the project documents, I noticed the drawings repeatedly reference "CXT drawings." However, I wasn't able to locate those drawings in the files provided with the project manual and site drawings. Could you let me know where I can access the CXT drawings, or if they are available to be sent over? I'd like to make sure I have the complete set of documents before putting together our plumbing bid.
*R. CXT has these stub up drawings located on their website:
<https://lbfoster.com/assets/datasheets/cxt-cortez-stubup-dwg.pdf> [lbfoster.com].
These buildings are premanufactured including interior plumbing. The only on-site plumbing that would be required for this building would be below grade and hooking up the building to these stub ups.*

End of Addendum 2

Attachments:

MOHP Revised Architectural Sheets A1.1 and A3.1

MOHP Revised Plumbing Sheet P1

MOHP Revised Civil Sheets C100, C200 and C400

III. Bid Forms and Supplements MOHP Revised 9/21/2026

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DOOR, FRAME AND HARDWARE SCHEDULE

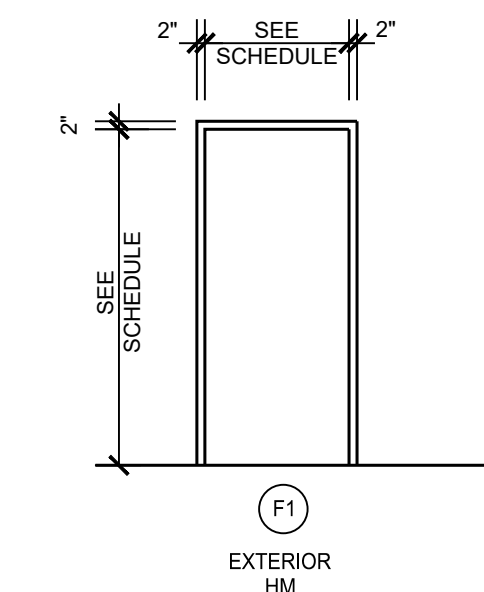
DOOR LEGEND:				HARDWARE LEGEND:				DOOR NOTES:				HARDWARE:			
TIG	TEMPERED INSULATED GLASS			ET	ENTRANCE			①	GALVANIZED			W = NON-FIRE RATED * = CYLINDER BY HARDWARE MFG	DOOR TYPE: RIM EXIT DEVICE EXTERIOR LEVER LOCKSET EXIT DEVICE - RIM & EXTERIOR PULL EXIT DEVICE - RIM - EXT ONLY DOOR FUNCTION PUSH / PULL ELECTRONIC MORTISE GRADE 1 LOCK W/ TIMER CLOSE W/ HOLD OPEN SPRING HINGE KICKPLATE DEADBOLT W/ INTERCHANGEABLE CORE INCREASED DEAD PROOF STRIKE STOP: BY CLOSER BY CLO		

GENERAL NOTES:

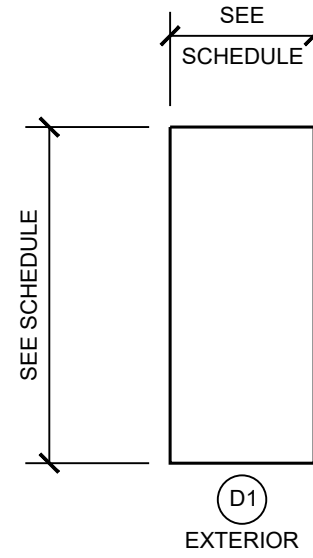
①
②
③
④

FINISH ROOM SCHEDULE

ABBREVIATIONS											
ACT 1	2' X 2' ACOUSTICAL TILE	CLR CONC	COLOR CONCRETE	MRGB	MAT	MOIST. & MOLD RESIST. GYP. BD.	RUBB	S	RUBBER - 4" COVED BASE	WD	WOOD
ACT 2	2' X 2' ACOUSTICAL TILE	EP	EPOXY FLOOR	SE	SEALED	WALK - OFF MAT	ST	STL STRUC	SEALED	MWP	METAL WALL PANEL
BB	BEAD BOARD	EXT	EPOXY FLOOR	MT	MARBLE TILE	P	PAINT	TERR	TERRAZZO		
CPT #1	CARPET - ROLL	EXP	EXPOSED	PL LAM	PLASTER	PL LAM	PLASTER	TP	TEXTURED PAINT		
CPT #2	CARPET - MODULAR TILE	EXT - BRK	EXISTING BRICK	POR T	PORCELAIN TILE	PLWD	PLYWOOD	VCT	VINYL COMPOSITION TILE		
CT	CERAMIC TILE	EXT - MAS	EXISTING MASONRY WALLS	PLWD	PLYWOOD	PLWD	PLYWOOD	VCT	VINYL COMPOSITION TILE		
CT - S	CERAMIC TILE (SPECIAL SHAPE)	GB	GYPSON BOARD	PLWD	PLYWOOD	PLWD	PLYWOOD	VCT	VINYL COMPOSITION TILE		
CONC	CONCRETE - SEALED	LVP	LUXURY VINYL PLANK	PLWD	PLYWOOD	PLWD	PLYWOOD	VCT	VINYL COMPOSITION TILE		
CMU	CONCRETE MASONRY			PLWD	PLYWOOD	PLWD	PLYWOOD	VCT	VINYL COMPOSITION TILE		
		FLOORS		WALLS				CEILING		NOTES	
NO.	SPACE	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	MATERIAL	HEIGHT		NO.
	STORAGE	CONC	--	CONC	CONC	CONC	CONC	CONC	VARIES		100
	RESTROOM 1	CONC	--	CONC	CONC	CONC	CONC	CONC	VARIES		101
	RESTROOM 2	CONC	--	CONC	CONC	CONC	CONC	CONC	VARIES		102
GENERAL NOTES:											
INTERIOR WALLS TO BE FINISHED WHITE AND GRAY FLOOR.											
EXTERIOR ROCK WAINSCOT TO BE FINISHED NATURAL HONEY AND GREEN ROOF.											



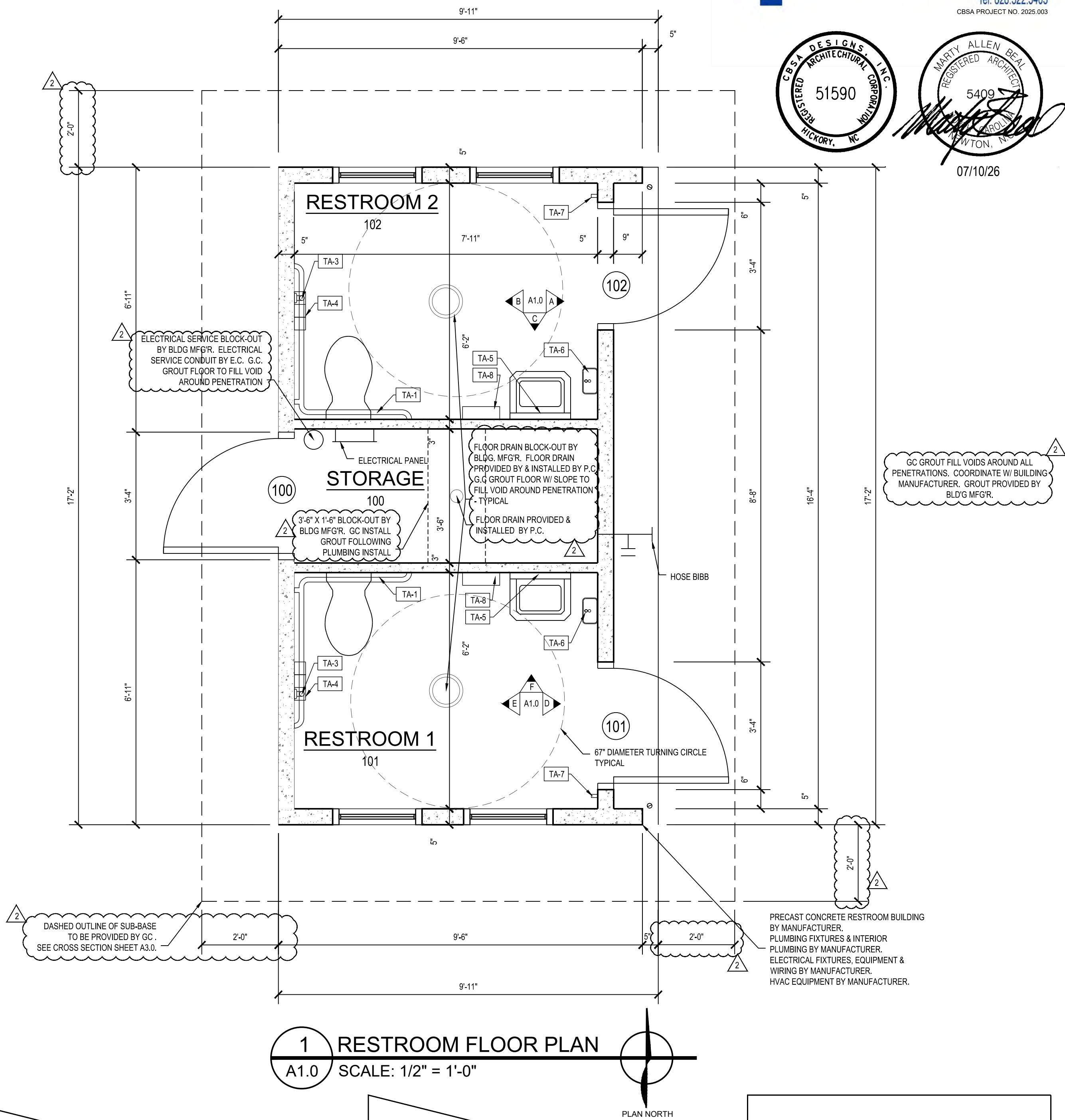
FRAME TYPES
NOT TO SCALE



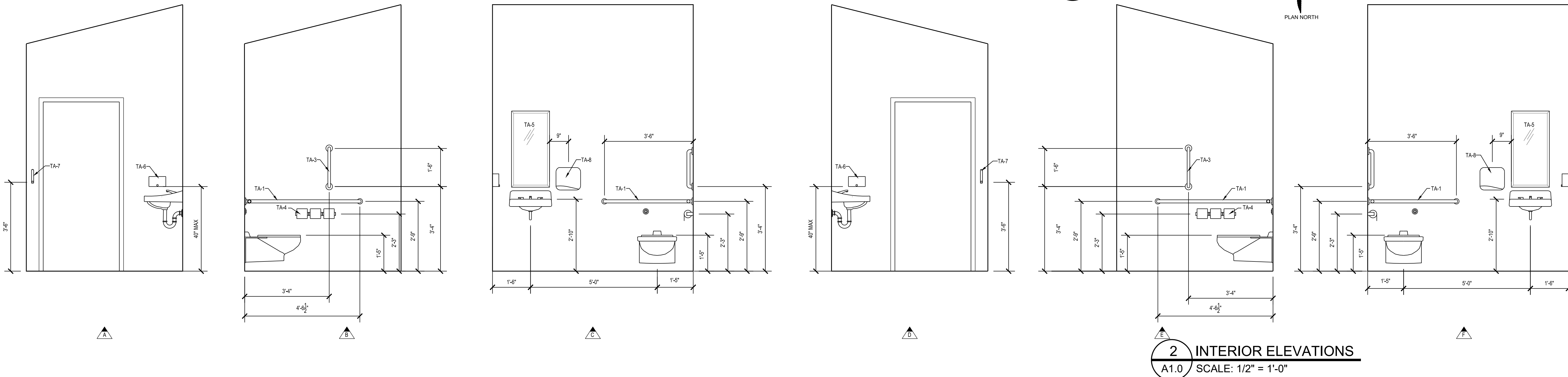
DOOR TYPES
NOT TO SCALE

TOILET ACCESSORY SCHEDULE

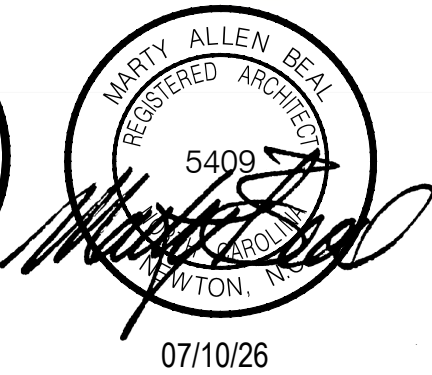
MARK	DESCRIPTION
TA-1	TWO-WALL HORIZONTAL GRAB BAR (42" X 54-1/2")
TA-2	NOT USED
TA-3	VERTICAL GRAB BAR (18")
TA-4	SURFACE MOUNT TOILET PAPER DISPENSER (3-ROLL)
TA-5	MIRROR
TA-6	SURFACE MOUNT SOAP DISPENSER
TA-7	SURFACE MOUNT COAT HOOK
TA-8	SURFACE MOUNT HAND DRYER (ELECTRIC)
NOTES:	
1. TOILET ACCESSORIES ARE TO BE PROVIDED AND INSTALLED BY THE PRECAST CONCRETE RESTROOM MANUFACTURER.	
2. SEE ELEVATIONS FOR TYPICAL MOUNTING HEIGHTS.	



1 RESTROOM FLOOR PLAN
A1.0 SCALE: 1/2" = 1'-0"



2 INTERIOR ELEVATIONS
A1.0 SCALE: 1/2" = 1'-0"



Seals:

Corp. NC license: F-1320

Miracle of Hickory Park
Modifications
1515 12th Street Dr NW
Hickory, North Carolina

Project no: 1726.500007.00

Date: 07.10.26

Revisions:

ADDENDUM NO. 2 09.18.26

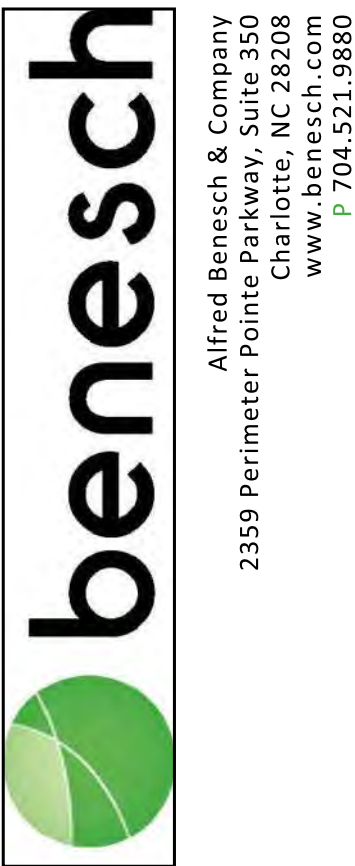
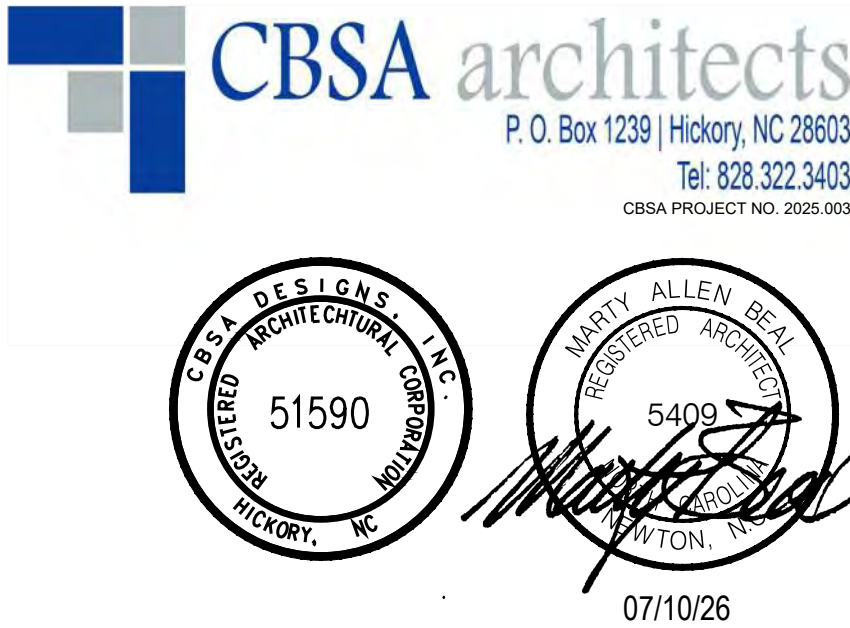
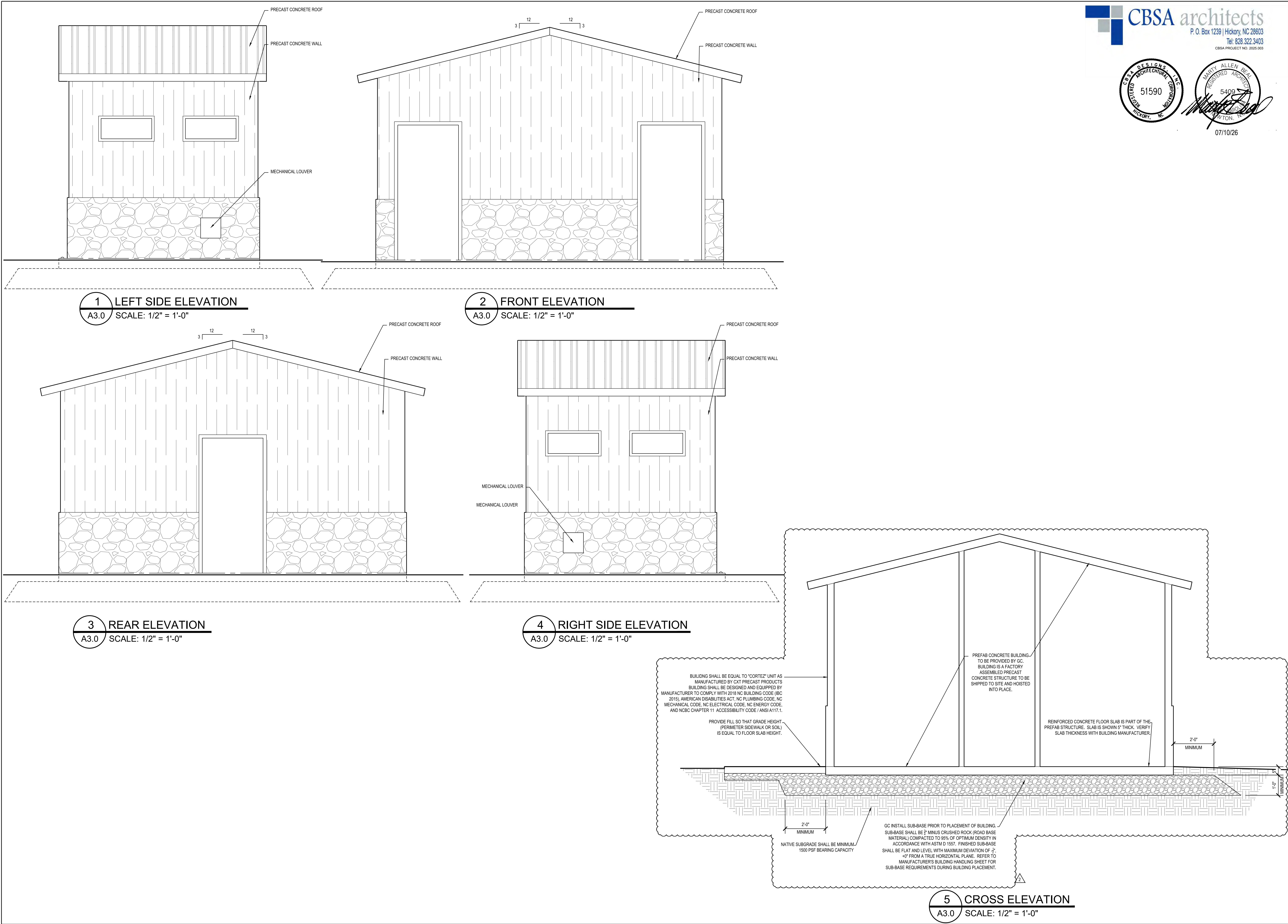
Sheet Title:

RESTROOM
FLOOR PLAN
SCHEDULES

Sheet No:

A1.1

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Seals:

Corp. NC license: F-1320

Miracle of Hickory Park Modifications

1515 12th Street Dr NW
Hickory, North Carolina

Project no: 1726.500007.00
Date: 07.10.26
Revisions:
ADDENDUM NO. 1 09.18.26

Sheet Title:
**RESTROOM
ELEVATIONS**

Sheet No:
A3.1

GENERAL PLUMBING SPECIFICATIONS

CAST IRON SOIL, WASTE AND VENT PIPING: WASTE PIPING P.V.C. SHALL BE D.W.V. SCHEDULE 40 SOLID CORE PIPE

GRADE WASTE PIPING 1/4 INCH PER FOOT (MIN) FOR PIPE SIZES 2-1/2" OR LESS. FOR PIPE SIZES 3" TO 6", GRADE 1/8 INCH PER FOOT (MIN), 8" OR LARGER PIPE, GRADE MIN 1/16 INCH PER FOOT. ALL VENT PIPING SHALL BE GRADED AS TO DRAIN BACK TO THE DRAINAGE PIPE BY GRAVITY. REFER TO TABLE 704.1 OF THE NC PLUMBING FOR MINIMUM SLOPE REQUIRED.

WATER PIPING: ALL WATER PIPING 3" AND SMALLER SHALL BE TYPE "K" (UNDER GROUND) OR TYPE "L" (ABOVE GROUND) COPPER TUBING WITH FORGED FITTINGS AND SWEAT CONNECTIONS. DIELECTRIC UNIONS, EPCO SALES, INC., SERIES FX SHALL BE INSTALLED BETWEEN COPPER PIPE AND WATER HEATER. ALL FITTINGS SHALL BE SWEAT TYPE WROUGHT COPPER WITH WALL THICKNESS EQUAL TO PIPE WALL THICKNESS. ALL JOINTS SHALL BE MADE WITH 95-5 SOLDER OR SILVABRITE 100. NO SOLDER W/LEAD SHALL BE PERMITTED.

ALL ROUGHING-IN PIPING SHALL BE RUN CONCEALED. ALL EXPOSED WATER LINES, STOPS, TRAP AND WASTE PIPE AT THE FIXTURES SHALL BE CHROME PLATED BRASS, WHICH FOR THE MOST PART WILL BE FURNISHED WITH THE FIXTURES. CHROME PLATED ESCUTCHEON RINGS SHALL BE USED AT EACH POINT OF ENTRANCE OF CHROME PIPING INTO WALLS, FLOORS, OR CEILINGS. EXPOSED WORK SHALL BE UNIFORM IN HEIGHT AND LOCATION FOR EACH TYPE FIXTURE.

WATER PIPING UNDER GROUND OUTSIDE OF BUILDING SHALL BE AT LEAST 36 INCHES BELOW THE FINISHED GRADE SURFACE.

CPVC AND PEX WATER PIPING IS ALSO ACCEPTED AS ALLOWED BY THE PLUMBING CODE.

THERMAL INSULATION: ALL HOT AND COLD WATER PIPING INSIDE BUILDING AND IN CRAWL SPACE, ALL HOT WATER PIPING BELOW GRADE, AND COLD WATER PIPING BELOW GRADE WITHIN 3'-0" OF OUTSIDE SHALL BE INSULATED WITH 1" THICK "ARMAFLEX" OR IMCOA WITH SEALED JOINTS OR PREMOLDED FIBERGLASS WITH VAPOR BARRIER JACKET.

SUBMITTAL: THE CONTRACTOR SHALL WITHIN (15) DAYS OF RECEIPT OF PROPERLY SIGNED CONTRACT SUBMIT TO THE ARCHITECT/ENGINEER FOR APPROVAL (5) COPIES OF A LIST OF SUPPLIES AND MANUFACTURER'S MATERIAL AND EQUIPMENT TO BE USED ON THIS PROJECT.

SUBSTITUTION OF MATERIALS AND/OR EQUIPMENT FOR THAT SPECIFIED WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER PRIOR TO RECEIPT OF BIDS.

GENERAL: THE ENTIRE PLUMBING SYSTEM SHALL BE IN ACCORDANCE WITH THE 2018 N.C. STATE PLUMBING CODE. SUBMIT THREE (3) COPIES OF PLUMBING INSPECTION CERTIFICATES TO OWNER. PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY GOVERNING AUTHORITIES FOR WORK DONE UNDER THIS CONTRACT. PROVIDE AND INSTALL ALL SUPPORTS, BRACKETS, MATERIALS AND LABOR AS REQUIRED FOR A COMPLETE AND ACCEPTABLE PLUMBING SYSTEM. PLUMBING CONTRACTOR SHALL CLEAN ALL PLUMBING FIXTURES AFTER ALL CONSTRUCTION IS COMPLETE.

GUARANTEE: THE PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER STATING THE DAY THE GUARANTEE BEGINS AND ENDS.

WATER HAMMER CONTROL: ARRESTORS SHALL BE SIZED AND APPLIED IN ACCORDANCE WITH THE PLUMBING AND DRAINAGE INSTITUTE STANDARD PDI-WH-201. EQUIPMENT EQUAL TO JOSAM #75000 OR EQUAL BY AMTROL, WADE, SIOUX CHIEF OR SMITH IS ACCEPTABLE. PROVIDE "KARP" ACCESS COVER IN WALL TO SERVICE WATER HAMMER ARRESTORS.

FIXTURE SCHEDULE:

SEE DRAWINGS.

CLEANOUTS: <S>

CLEANOUTS SHALL BE AS FOLLOWS:

FLOOR CLEANOUTS - IN FINISHED AREAS - JOSAM #5500-1-SQ WITH SQUARE NICKEL BRONZE TOP

- IN TILE FLOORS -JOSAM #5500-1-SQ
- IN CARPETED FLOORS -JOSAM #5#5500-1-SQ

WALL CLEANOUTS - JOSAM #58710 WITH STAINLESS STEEL COVERPLATE

CLEANOUTS IN EXPOSED PIPING - JOSAM #58900

EXTERIOR CLEANOUTS - JOAM # 56050 W/ROUND NICKEL BRONZE TOP

CLEANOUTS IN WATERPROOF FLOOR SHALL HAVE FLASHING FLANGE AND CLAMPING DEVICE.

CLEANOUTS IN CARPETED AREAS SHALL BE PROVIDED WITH CARPET MARKERS.

DOMESTIC WATER HEATERS: <S>

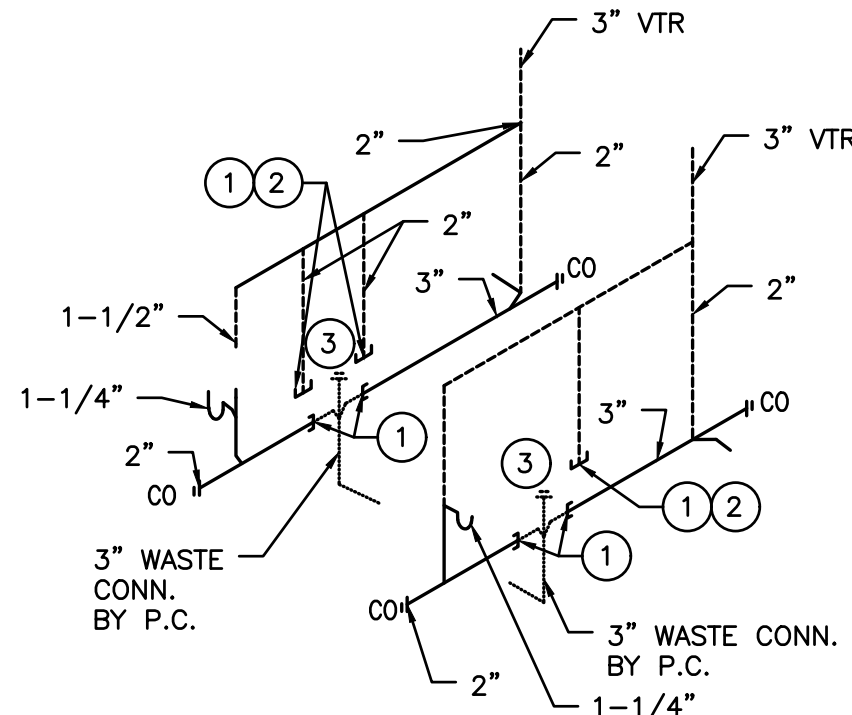
ELECTRIC WATER HEATERS SHALL BE UL LISTED AND COMPLETE WITH ALL STANDARD FEATURES, FIVE (5) YEAR TANK WARRANTY, GLASS-LINED TANK, FOAM INSULATION ON THE TANK, ANODE ROD, AUTOMATIC TEMPERATURE CONTROL, AND AUTOMATIC HIGH-LIMIT SAFETY CUTOFF.

EACH WATER HEATER SHALL BE PROVIDED WITH AN ASME AND NORTH CAROLINA APPROVED PRESSURE AND TEMPERATURE RELIEF VALVE. UNITS NOT INSTALLED WITH VACUUM BREAKER ON COLD WATER SUPPLY LINE SHALL BE PROVIDED WITH AGA CERTIFIED VACUUM RELIEF VALVE PER ANSI Z21.22. A GATE VALVE SHALL BE INSTALLED ON SAME FLOOR AS UNIT AND NO FURTHER THAN 3 FEET ON THE COLD WATER SUPPLY.

EACH WATER HEATER AND ITS INSTALLATION SHALL COMPLY WITH THE LATEST ISSUE AND ALL ADDENDA THERETO OF THE N. C. STATE BOILER INSPECTION LAWS AND REGULATIONS. ALL WIRING AND CONTROLS ASSOCIATED WITH THE HEATERS SHALL BE U.L. APPROVED AND IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.

EACH HEATER TANK SHALL BE FITTED WITH NORTH CAROLINA APPROVED "DIP" TUBE AND LABELED TO SHOW APPROVAL FOR INSTALLATION IN THE STATE OF NORTH CAROLINA.

DISCHARGE RELIEF VALVE FROM EACH WATER HEATER SHALL BE PIPED FULL SIZE TO WITHIN FOUR (4) INCHES OF THE FLOOR OVER A FLOOR DRAIN, DRIP PAN OR OTHER SAFE LOCATION. DISCHARGE PIPE SHALL BE SUPPORTED AND ANCHORED SO THAT IT WILL NOT PUT UNDUE STRAIN ON THE RELIEF VALVE BODY OR MOUNTING COUPLING.

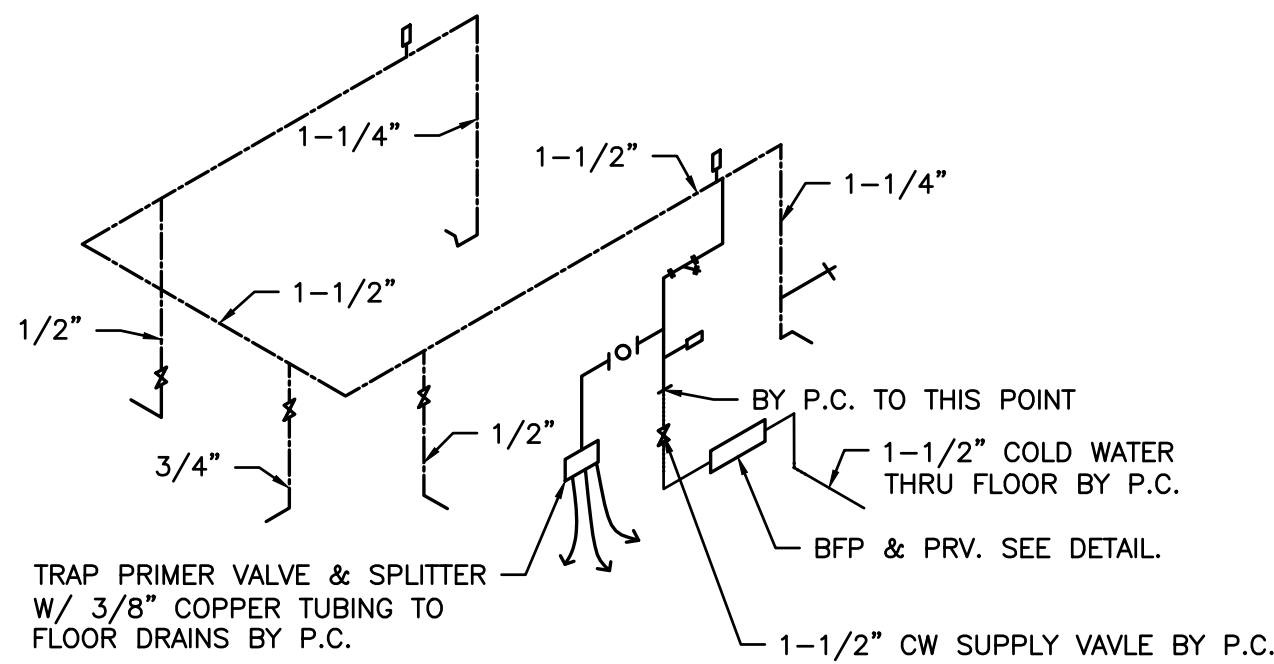


NOTES:

- 1 P.C. TO EXTEND TO THIS POINT.
- 2 2" VENT FOR FLOOR DRAINS. P.C. TO EXTEND VENT PIPING TO THIS POINT. CAP UNUSED VENT.
- 3 CO BY P.C.

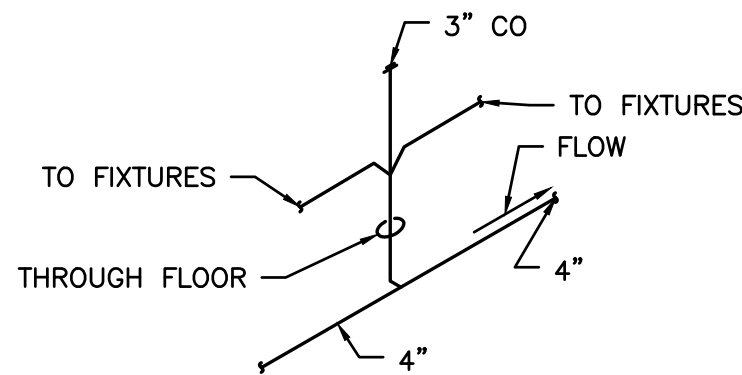
A WASTE & VENT RISER DIAGRAM

SCALE: NONE



B WATER PIPING DIAGRAM

SCALE: NONE



C WASTE CONNECTION BY P.C.

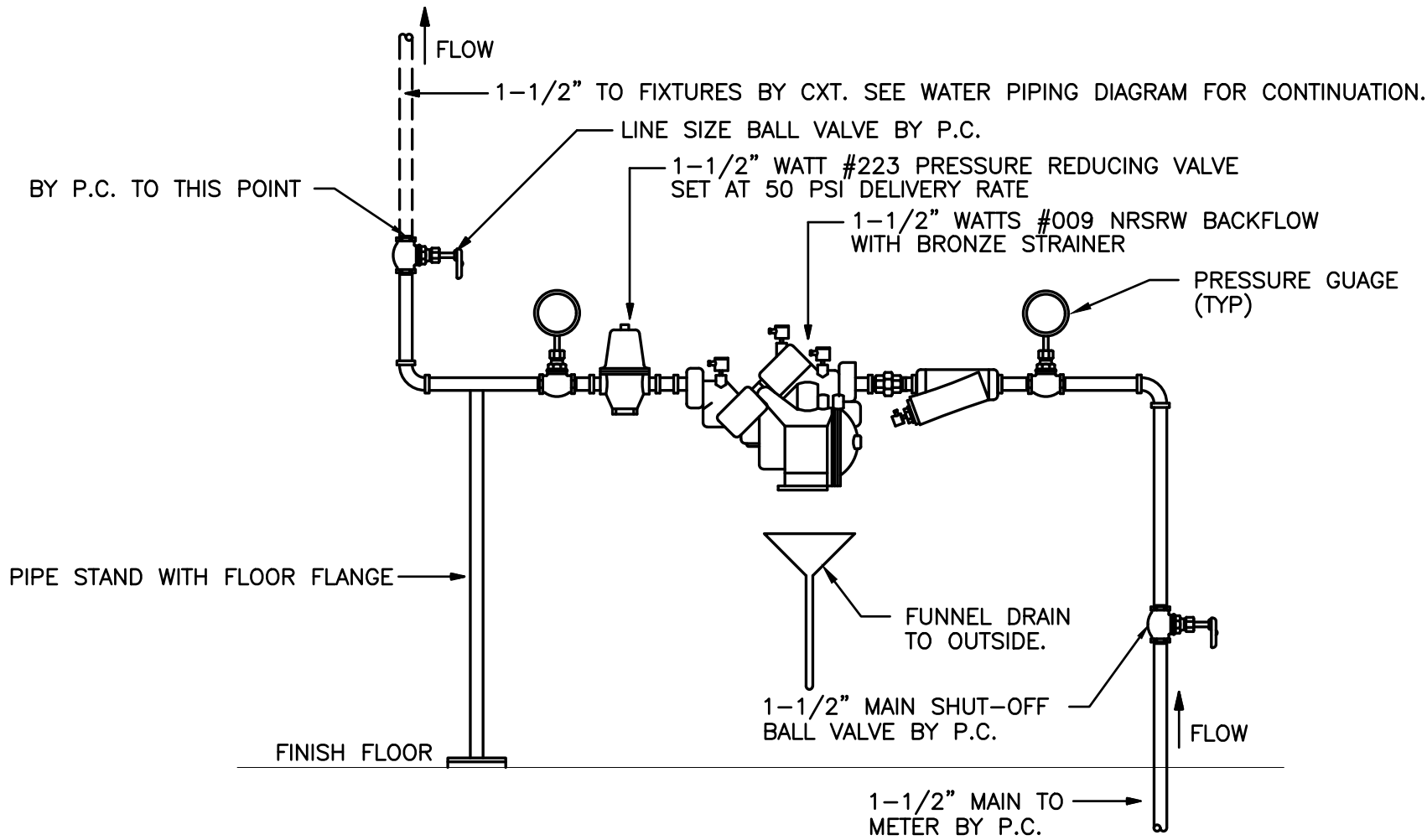
SCALE: NONE

NOTES:

- 1 3" WASTE UP THROUGH FLOOR.
- 2 2" VENT PIPING FOR FLOOR DRAINS. TIE INTO VENT PIPING BY P.C.
- 3 WATER CONNECTION FROM TRAP PRIMER TO FLOOR DRAINS. VERIFY LOCATION FOR TRAP PRIMER BY P.C.

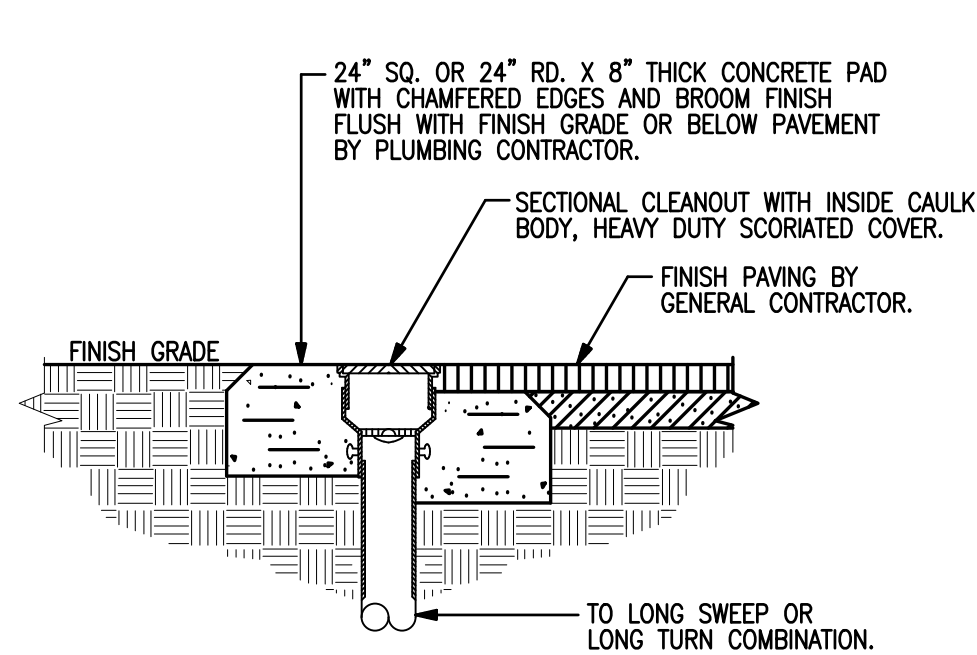
NOTE:

P.C. TO COORDINATE W/ G.C. SHOP DRAWINGS FROM CXT.



D WATER PRESSURE REDUCING VALVE AND BACKFLOW PREVENTER STATION BY P.C.

SCALE: NONE

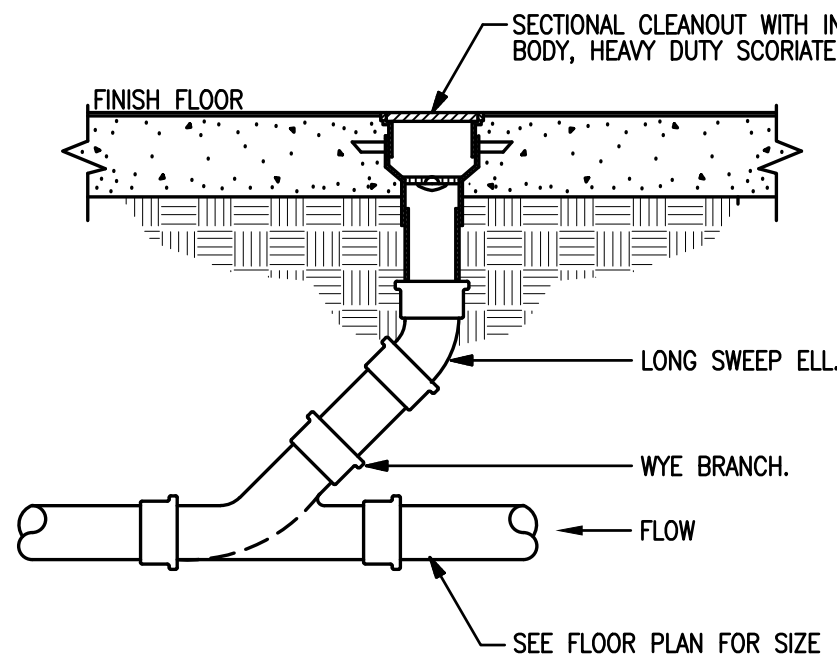


NOTE:

OMIT CONCRETE PAD IF C.O. IS SET IN CONC. SURFACE PROVIDED BY GENERAL CONTRACTOR.

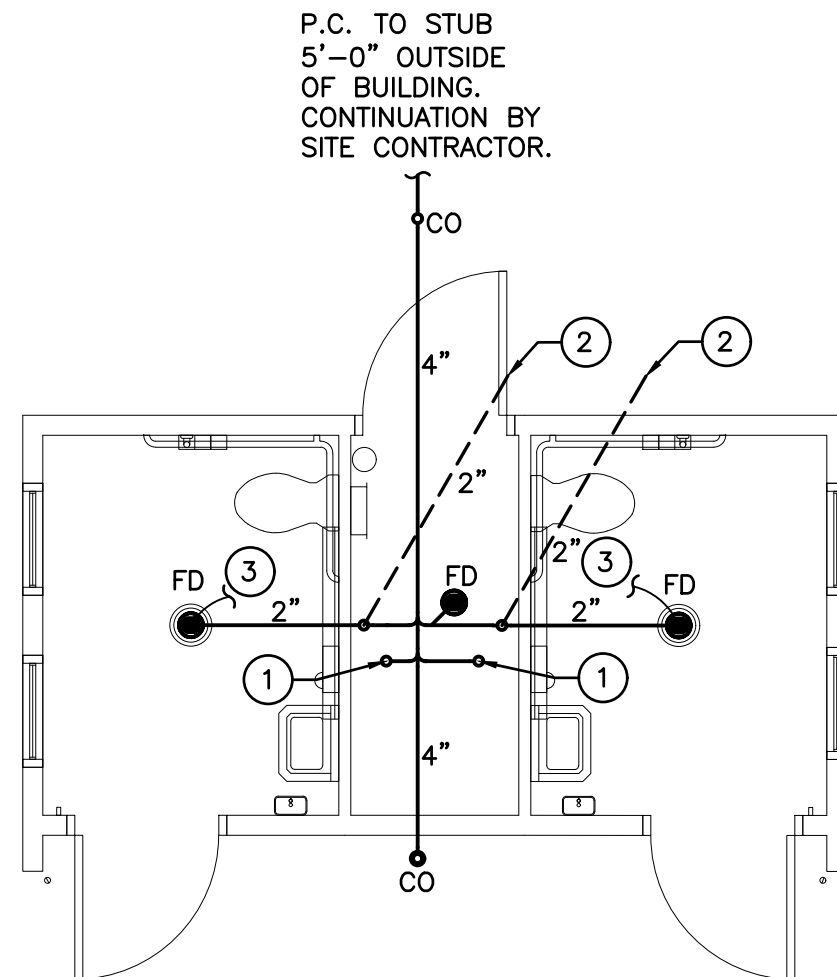
E CLEANOUT AT FINISH GRADE

SCALE: NONE



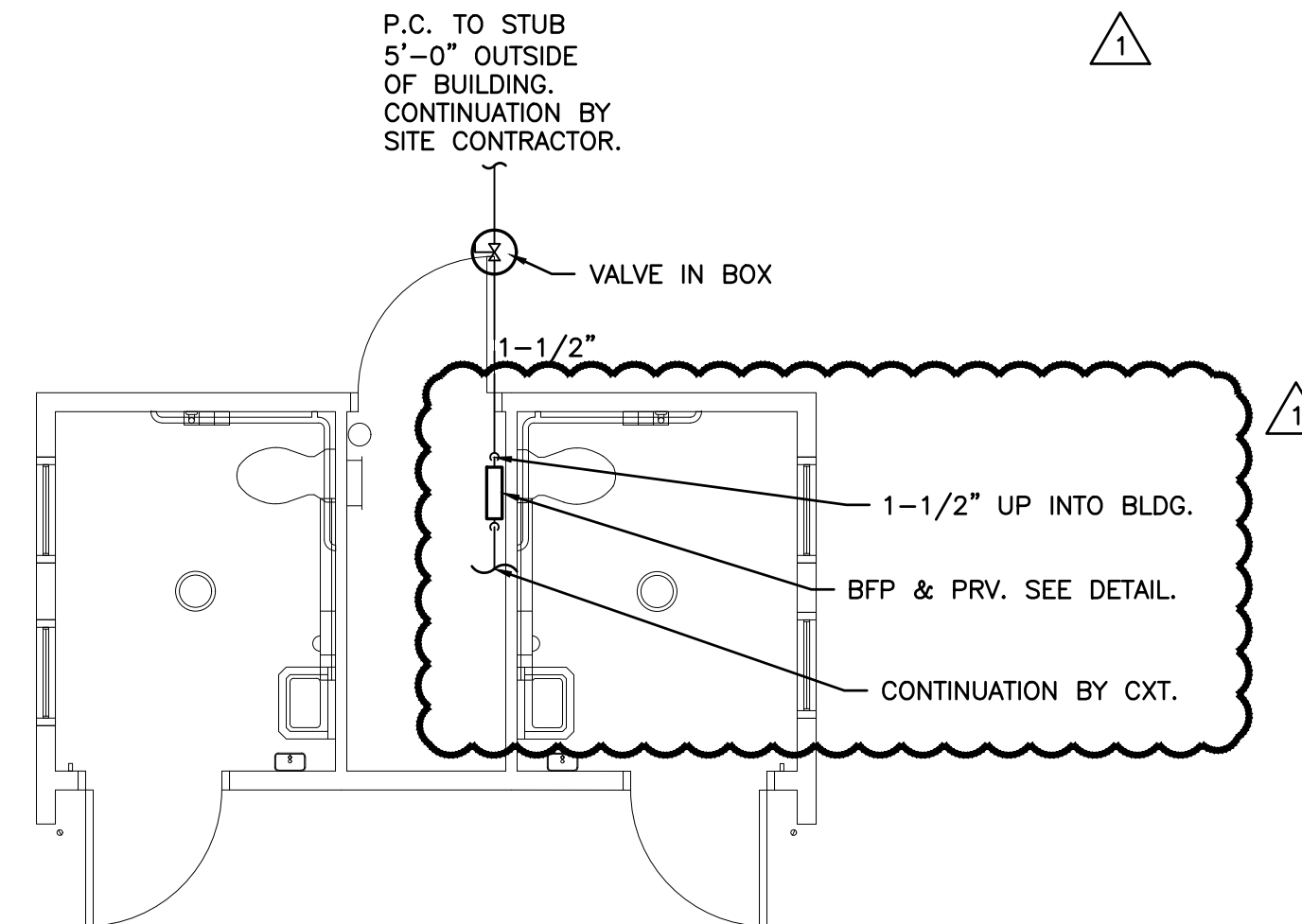
F CLEANOUT AT FINISH FLOOR

SCALE: NONE



FLOOR PLAN - WASTE

SCALE: 1/4" = 1'-0"



FLOOR PLAN - WATER

SCALE: 1/4" = 1'-0"

1

ADDENDUM #2
09/18/26

091626EHC221400

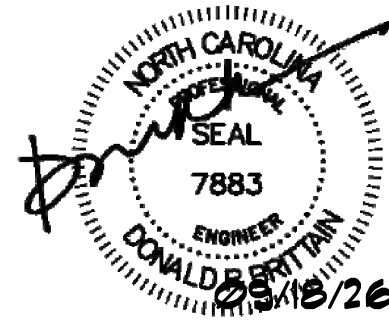


BRITTAIN ENGINEERING, INC.
CONSULTING MECHANICAL AND ELECTRICAL ENGINEERS
PO BOX 939 HICKORY, NC 28603
TEL: (800) 326-1814, FAX: (800) 326-1814



Alfred Benesch & Company
2359 Perimeter Pointe Parkway, Suite 350
Atlanta, Georgia 30328
www.benesch.com
P 770.4521.9880

Seals:



Miracle of Hickory Park
Modifications

1515 12th Street Dr NW
Hickory, North Carolina

Project no: 1726.500007.00

Date: 07.10.26

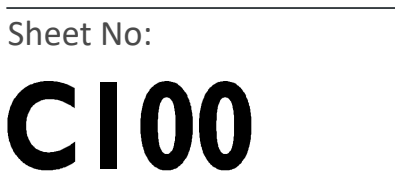
Revisions:

Sheet Title:

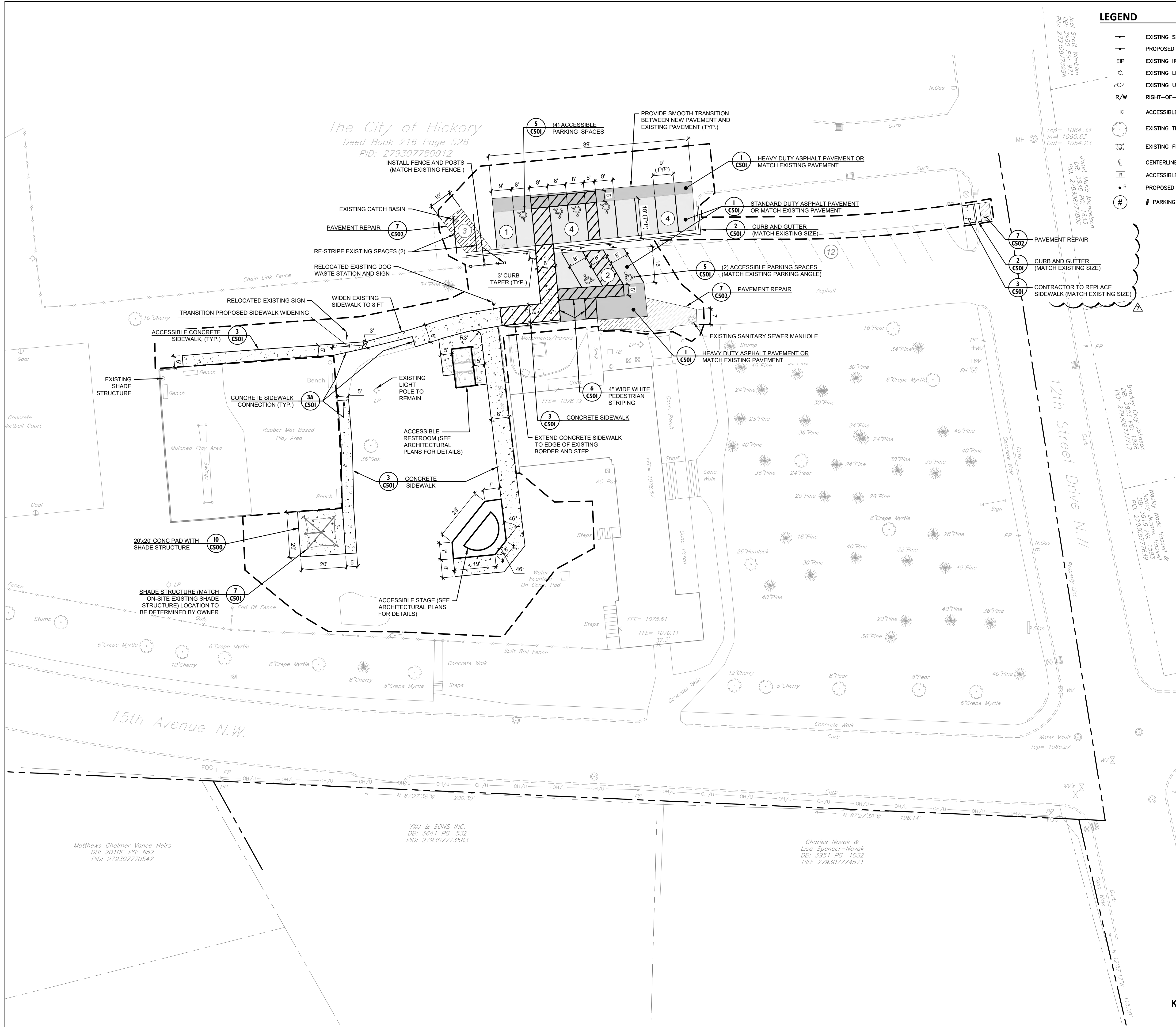
RESTROOM
FLOOR PLAN
PLUMBING,
SPECIFICATIONS,
SCHEDLULES

Sheet No:

P1



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LEGEND

- | | |
|-------------------------|---|
| EXISTING SIGN | EXISTING CURB AND GUTTER |
| PROPOSED SIGN | PROPOSED CURB AND GUTTER |
| EXISTING IRON PIN | PROPOSED FLUSH CURB AND GUTTER |
| EXISTING LIGHT POLE | PROPERTY LINE |
| EXISTING UTILITY POLE | EXISTING EASEMENT |
| R/W | RIGHT-OF-WAY |
| HC | ACCESSIBLE SPACE |
| EXISTING TREE TO REMAIN | EXISTING FENCE |
| EXISTING FIRE HYDRANT | PROPOSED FENCE |
| CENTERLINE | EXISTING OVERHEAD UTILITY LINE |
| ACCESSIBLE RAMP | EXISTING ASPHALT PAVEMENT |
| PROPOSED BOLLARD | PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
| # | PROPOSED HEAVY DUTY ASPHALT PAVEMENT |
| # | PROPOSED PAVEMENT REPAIR |
| # | PROPOSED CONCRETE WALK |

SITE NOTES

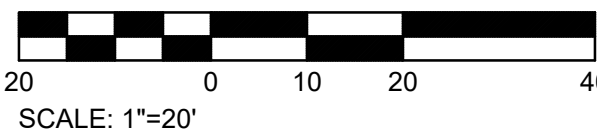
- DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING CONSTRUCTION, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS (BOTH SITE AND BUILDING RELATED) INCLUDING BUT NOT LIMITED TO REGULATORY FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
- USE CAUTION WHEN REPRODUCING COPIES OF THE CONSTRUCTION DRAWINGS. COPIES ARE SUBJECT TO DISTORTION AND INACCURACY IN THE SCALE OF DRAWINGS. VERIFY ANY DISCREPANCIES WITH BENESCH.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AS INDICATED ON THE PLANS.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING AND STAGE DIMENSIONS.
- THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE OWNER.
- STOP BEFORE YOU DIG. CALL 811. IT'S THE LAW.

SITE DATA

PROJECT	MIRACLE OF HICKORY PARK MODIFICATIONS
OWNER	CITY OF HICKORY
ADDRESS	1515 12TH STREET DR NW, HICKORY, NC
TAX ACREAGE	51.64 AC
TAX PARCEL NO.	279307780912
ZONING	PD (PLANNED DEVELOPMENT) R-3
JURISDICTION	CITY OF HICKORY (WATER QUALITY REVIEW); NCDEQ (EROSION CONTROL)
WATERSHED DISTRICT	LAKE HICKORY
FEMA	NOT WITHIN FLOOD ZONE
RIVER BASIN	CATAWBA
SETBACK	20' FRONT & REAR; 5' SIDE
MAXIMUM HEIGHT	40'
EXISTING PARKING:	26 SPACES
MOH PARK	12 REGULAR SPACES + 1 ADA SPACES = 13
ARMORY	13 REGULAR SPACES
PROPOSED PARKING:	26 SPACES
MOH PARK	12 REGULAR SPACES + 2 ADA SPACES = 14
ARMORY	8 REGULAR SPACES + 4 ADA SPACES = 12
UTILITY (WATER & SEWER)	CITY OF HICKORY
INCREASE IN IMPERVIOUS	2,786 SF
EXISTING IMPERVIOUS	418 SF (TO BE REMOVED)
PROPOSED IMPERVIOUS	2,369 SF
DISTURBED AREA	0.6 AC



Know what's below.
Call before you dig.



Seals:



9/21/2026
Corp. NC license: F-1320

Miracle of Hickory Park Modifications

1515 12th Street Dr NW
Hickory, North Carolina

Project no: 1726.500007.00

Date: 07.17.26

Revisions:

BID ADDENDUM 2 09.21.26

Sheet Title:

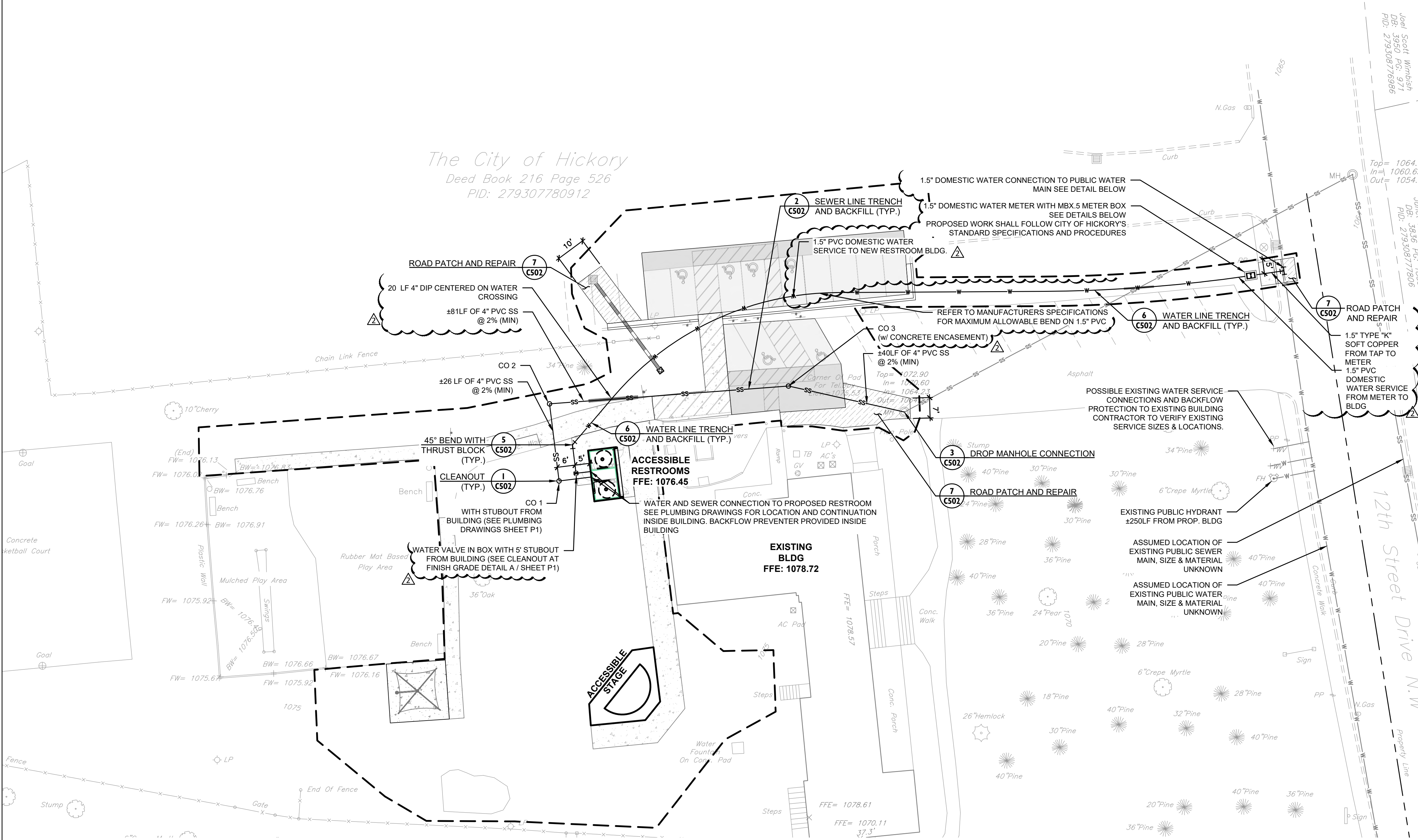
SITE PLAN

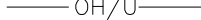
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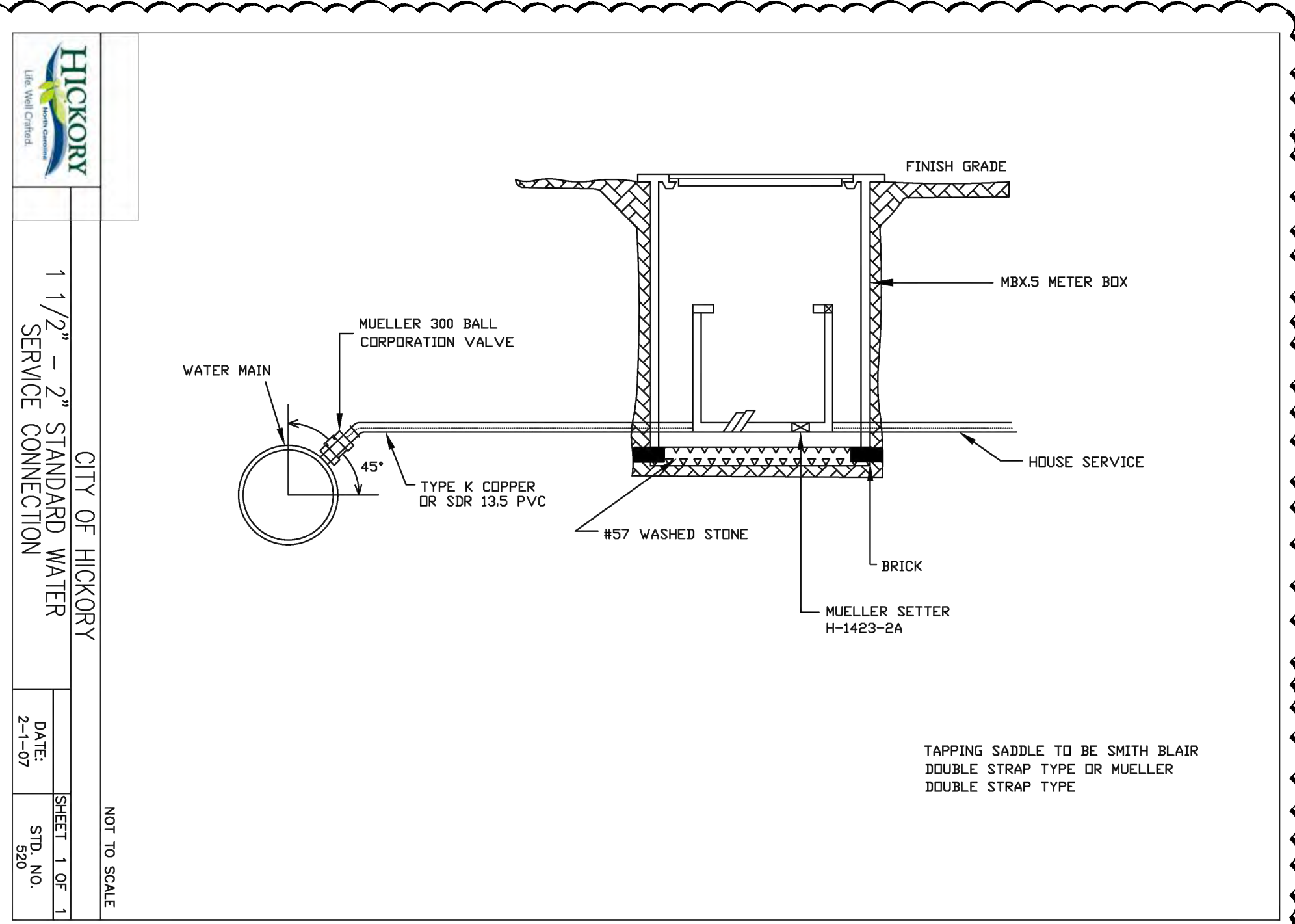
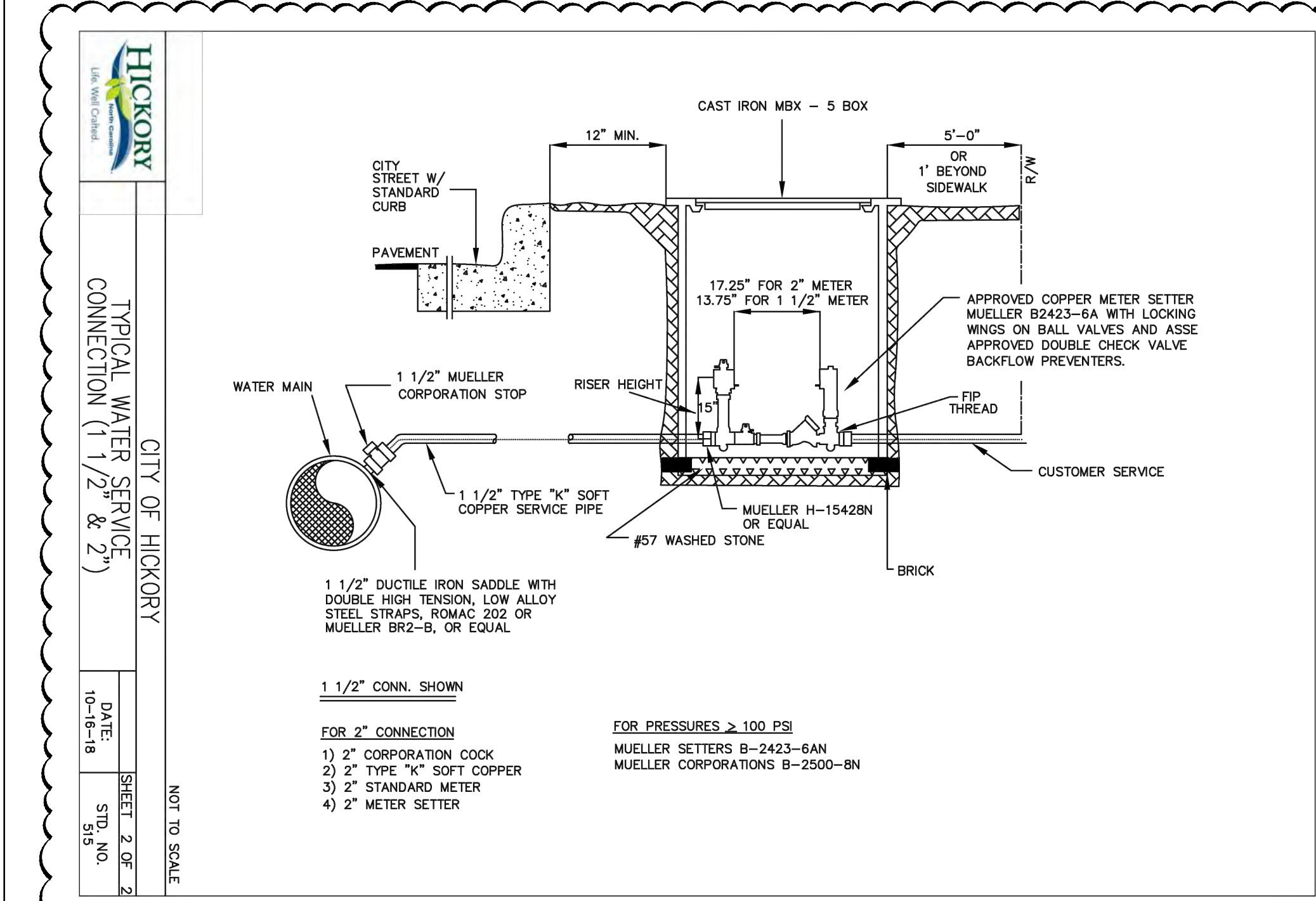
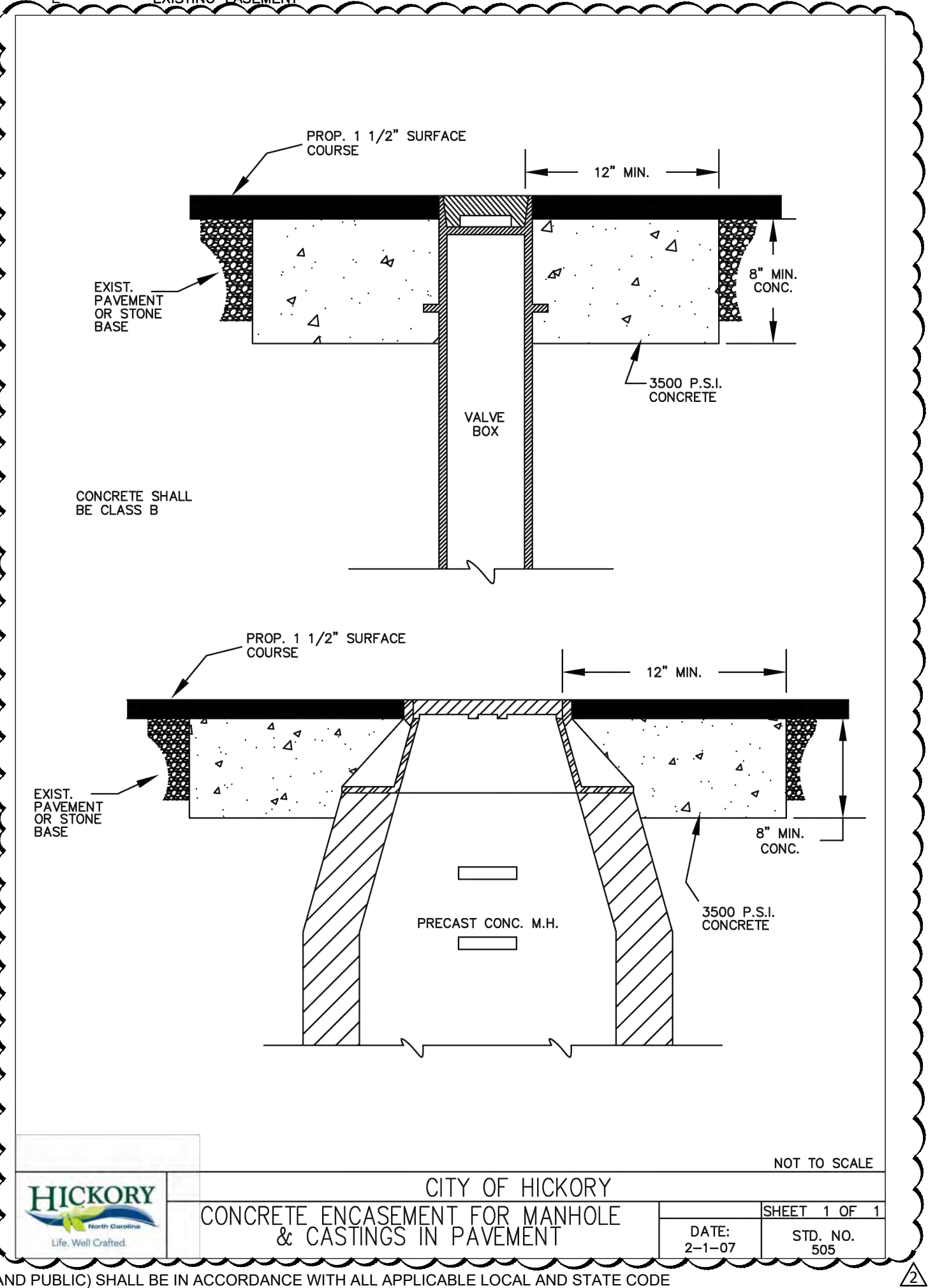
C200



Alfred Benesch & Company
2359 Perimeter Pointe
Charlotte, NC 28208
www.benesch.com
P 704.521.9880



LEGEND			
	EXISTING SIGN		EXISTING CURB AND GUTTER
	EXISTING IRON PIN		PROPOSED CURB AND GUTTER
	EXISTING LIGHT POLE		PROPERTY LINE
	EXISTING UTILITY POLE		EXISTING FENCE
	RIGHT-OF-WAY		EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING FIRE HYDRANT		EXISTING OVERHEAD ELECTRIC LINE
	EXISTING WATER VALVE		EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING WATER METER		EXISTING SANITARY SEWER LINE
	EXISTING CLEANOUT		PROPOSED SANITARY SEWER LINE
	PROPOSED CLEANOUT		EXISTING WATER LINE
	EXISTING DRAINAGE STRUCTURE		PROPOSED WATER LINE
	PROPOSED DRAINAGE STRUCTURE		EXISTING CONTOUR LINE
	EXISTING SEWER MANHOLE		PROPOSED CONTOUR LINE
	EXISTING GAS LINE		EXISTING STORM DRAINAGE PIPE
	PROPOSED GAS LINE		PROPOSED STORM DRAINAGE PIPE



UTILITY NOTES

- ALL UTILITY CONSTRUCTION (PRIVATE AND PUBLIC) SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODE REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (STORM DRAINAGE, ELECTRIC, GAS, TELEPHONE, ETC.) PRIOR TO CONSTRUCTION. INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION PLANS AND ACTUAL FIELD CONDITIONS ARE FOUND.
- MINIMUM COVER FOR ALL SANITARY SEWER MAINS SHALL BE 3'-0". DUCTILE IRON PIPE SHALL BE SUBSTITUTED WHEN MINIMUM COVER CAN NOT BE MAINTAINED.
- THE STANDARD DEPTH OF COVER FOR WATER MAINS SHALL BE 3'-0" MIN. EXCEPT AT VALVE OR HYDRANT LOCATIONS, OR OTHER SPECIAL CONDITIONS.
- THE CONNECTION TO EXISTING WATER MAINS SHALL BE PERFORMED ONLY AFTER ALL PRESSURE TESTING AND CHLORINATION ARE SUCCESSFULLY COMPLETED AND THE LOCAL REVIEW AUTHORITY HAS APPROVED THE CONNECTION. THE CONTRACTOR SHALL AVOID DISRUPTION OF EXISTING SERVICE.
- REFER TO PLUMBING DRAWING SERIES FOR THE LOCATION OF WATER AND SANITARY SEWER SERVICE CONNECTIONS AT THE BUILDING.
- UNLESS OTHERWISE NOTED, THE PHYSICAL CONNECTION BETWEEN THE SITE UTILITY LINES AND THE PIPE INSTALLED BY THE PLUMBING CONTRACTOR SHALL BE MADE BY THE SITE UTILITY CONTRACTOR.
- PIPE LENGTHS SHOWN ON PLAN ARE THE ENGINEER'S ESTIMATE USED TO COMPUTE PIPE SLOPES AND INVERTS AND SHALL NOT BE CONSTRUED BY THE CONTRACTOR TO REPRESENT THE ACTUAL QUANTITY OF PIPE REQUIRED.
- IF WATER LINE CROSSES OVER SANITARY SEWER WITH LESS THAN 18 INCHES VERTICAL CLEARANCE BOTH PIPES SHALL BE DUCTILE IRON 10" EACH SIDE. IF WATER CROSSES UNDER THE SEWER REGARDLESS OF CLEARANCE, BOTH PIPES SHALL BE DUCTILE IRON 10" EACH SIDE. IF WATER LINE RUNS PARALLEL TO SEWER LINE WITH LESS THAN 18" VERTICAL CLEARANCE AND LESS THAN 10' SIDE CLEARANCE BOTH PIPES SHALL BE DUCTILE IRON.
- IF REQUIRED BY NUMBER 10 ABOVE, REPLACE EXISTING SEWER WITH DUCTILE IRON PIPE, CLASS 350 WORKING PRESSURE WITH GASKETED JOINTS, 10' EACH SIDE OF WATER MAIN.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF HICKORY REQUIRED BACKFLOW PREVENTER.
- EACH REQUIRED BPA IS REQUIRED TO BE TESTED BY A CITY OF HICKORY APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.



Miracle of Hickory Park
Modifications
1515 12th Street Dr NW
Hickory, North Carolina

Project no: 1726.500007.00
Date: 07.17.26
Revisions:

BID ADDENDUM 2 09.21.26

Sheet Title:

UTILITY PLAN

Sheet No:

C400

III. BID FORMS AND SUPPLEMENTS

A. ITEMIZED BID**BASE BID**

The undersigned Bidder, having carefully examined the Bidding and Contract Documents, and having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment, permits and services, including all scheduled Allowances, necessary to complete the Work for the abovenamed project, in accordance with the requirements of the Bidding Documents, for the sum of:

_____ Dollars (\$_____)

UNIT PRICES

Line Item	Sheet/Detail or Spec No.	Description	Qty	Unit	Unit Price	Extended Price
1	A1.1/A3.1/P1/E1/E2	Restroom Building/Delivery	1	LS		
2	A1.1/A3.1/P1/E1/E2	Restroom Building – Site Preparation/Final Connection to Utilities				
3	A1.0/A3.0/E2	Accessible Stage	1	LS		
4		Mobilization, incl. Surveying	1	LS		
5	C100	Comprehensive Demolition	1	LS		
6	C300/C301	Comprehensive Erosion & Sediment Control	1	LS		
7	C302	Comprehensive Grading	1	LS		
8	6/C501	Painted Accessible Pedestrian Striping	344	SF		
9	2/C501	Concrete Curb & Gutter, incl. Sloped Ends & Tapers (match existing)	98	LF		
10	1/C501	Asphalt Surface Course, Type S9.5B	321	SY		
11	1/C501	Asphalt Intermediate Course, Type I-19.0C	149	SY		
12	3/C501	4" Concrete Sidewalk, 3000 PSI	244	SY		
13	32 17 23	Parking Lot Striping, Thermoplastic Pavement Markings, 4", 90 mils	72	LF		
14	5/C501	Accessible Parking - Ramp / Signage / Striping / Symbols	1	LS		
15	C400	Water and Sewer Site Utilities, incl. all costs to include all utilities as shown in Project Drawings	1	LS		
16	7/C501	Single Post Pyramid Cantilever Shade Structure, Provided & Installed	1	EA		

Project Number: 27-006

17	E3	Site Electrical, incl. all costs to include all elec. Utilities as shown in Project Drawings	1	LS		
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BID GUARANTEE

The undersigned Bidder agrees to execute the Contract for the above amount and to furnish surety as specified within 10 days after notice of award, if offered within 120 calendar days after receipt of bids, and upon failure to do so agrees to forfeit the attached cash, cashier's check, certified check, U. S. money order, or bid bond, as liquidated damages for such failure, in the amount of:

_____ Dollars (\$ _____)
the stated amount constituting five percent (5%) of the Base Bid amount above.

If the Project costs are greater than \$300,000, NCGS 143-128(d) requires all single prime bidders to identify their subcontractors for the above subdivisions of work. A contractor whose bid is accepted shall not substitute any person as subcontractor in the place of the subcontractor listed in the original bid, except (i) if the listed subcontractor's bid is later determined by the contractor to be non-responsive or the listed subcontractor refuses to enter into a contract for complete performance of the bid work, or (ii) with the approval of the awarding authority for good cause shown by the contractor.

List the following subcontractors you are using on this project:

Electrical	_____	License # _____
Mechanical, if applicable	_____	License # _____
Plumbing, if applicable	_____	License # _____
Fire Protection, if applicable	_____	License # _____

BID SUPPLEMENTS

Attached to this Bid Form and incorporated herein are the following documents, completed in full by the undersigned:

Bid Bond

PLEASE NOTE - FAILURE TO INCLUDE ALL BID SUPPLEMENTS MAY RESULT REJECTION OF THIS BID.

CONTRACTOR'S LICENSE

The undersigned further states that he is a duly licensed Contractor, for the type of work proposed, in the State of North Carolina, and that all fees, permits, etc., pursuant to the submission of this proposal have been paid in full.

LICENSE # _____.

CONFIDENTIALITY REQUIREMENTS

By signing this bid form, I acknowledge that I have read, understand and shall comply with the confidentiality requirements as stated in the Instruction to Bidders.

Contractor's Signature

Subscribed and sworn before me this ____ day of _____, 2026.

Signature of Notary _____

of _____ County, State of _____

My Commission Expires: _____

B. EXECUTION OF BID**NON-COLLUSION AFFIDAVIT, DEBARMENT CERTIFICATION AND GIFT BAN CERTIFICATION**

The person executing the bid, on behalf of the Bidder, being duly sworn, solemnly swears (or affirms) that neither he, nor any official, agent or employee of the Bidder has entered into any agreement, participated in any collusion, or otherwise taken any action which is in restraint of free competitive bidding in connection with any bid or contract, that the Bidder has not been convicted of violating North Carolina General Statute 133-24 within the last three years, and that the Bidder intends to do the work with its own bona fide employees or subcontractors and is not bidding for the benefit of another contractor.

In addition, execution of this bid in the proper manner also constitutes the Bidder's certification of status under penalty of perjury under the laws of the United States in accordance with the Debarment Certification attached, provided that the Debarment Certification also includes any required statements concerning exceptions that are applicable.

NC General Statute 133-32 prohibits the offer to, or acceptance by, any City Employee of any gift from anyone with a contract with the City or State, or from any person seeking to do business with the City of Hickory. By execution of any response in this procurement, you attest, for your entire organization and its employees or agents, that you are not aware that any such gift has been offered, accepted, or promised by any employees of your organization.

The undersigned, having carefully examined the site and familiarized himself with the existing conditions on the Project area affecting the cost of work and hereby proposes to furnish all supervision, labor, equipment, materials and services required to construct and complete the Project in accordance with the Bid Documents at and for the total Bid amount.

The undersigned attests that he/she has the legal authority to execute this Bid on behalf of the corporation.

The undersigned acknowledges receipt of the following addenda (initial next to each addendum):

1: ____ # 2: ____ # 3: ____ # 4: ____ # 5: ____ # 6: ____ # 7: ____ # 8: ____ # 9: ____

Type of Bidder: ☐ Sole Proprietor ☐ Partnership ☐ Corporation ☐ Limited Liability Company
☐ Joint Venture

(if joint venture, complete this "Execution of Bid" sheet for each joint venture company and identify the "Name of Joint Venture" on each sheet)

Name of Joint Venture: _____

Company Name: _____

Mailing Address: _____

City/State/Zip: _____

Phone Number: _____

Print Name: _____

Signature: _____